

A circle is divided into four equal sectors by two perpendicular diameters. One of these sectors is shaded black. An arc of the circle is labeled with the letter 'N'.

A NEW BUILDING FOR THE
ROGERS DATA CENTER
301 WEST CHESTNUT ROGERS, AR 72756
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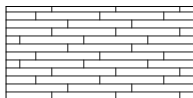

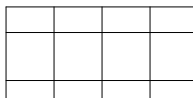

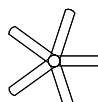







**FLOOR PLAN -
ANNOTATED &
DIMENSIONED**

A1.1

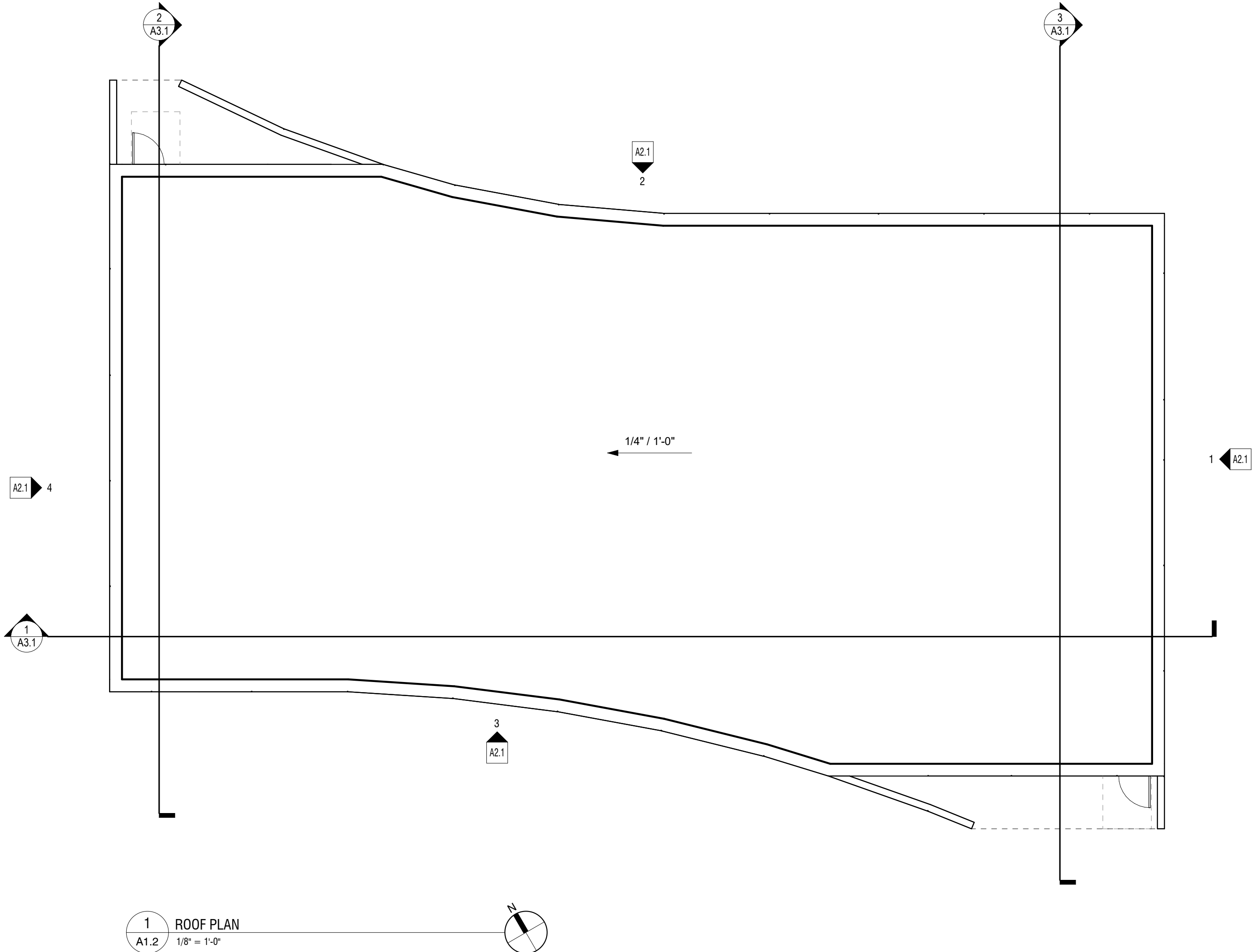
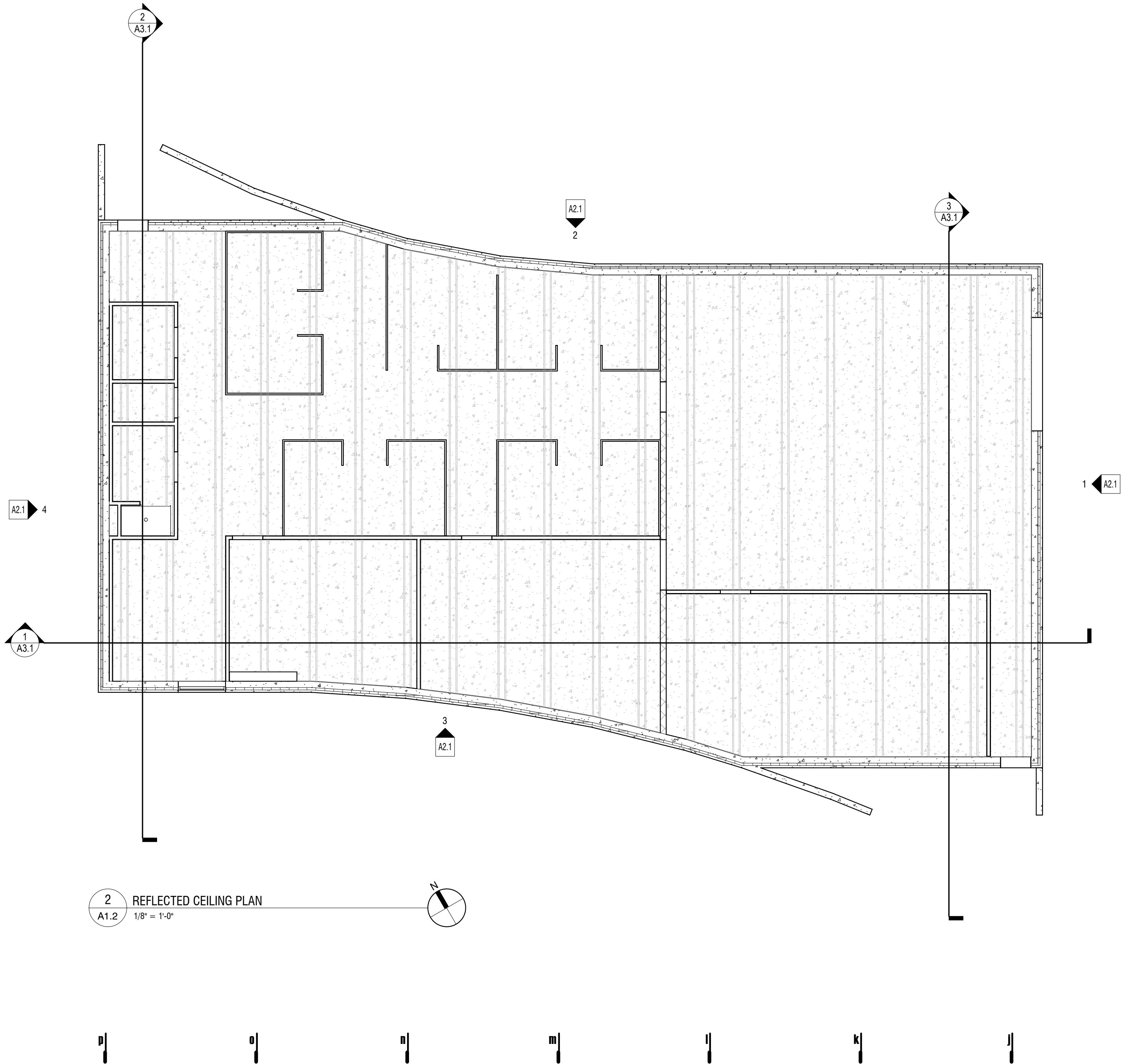
SCHEMATIC DESIGN
/22/2026 62325

NOT FOR CONSTRUCTION

DEMEX
ARCHITECTURE
104 N EAST AVENUE
FAYETTEVILLE, ARKANSAS 72701 | 479.

LEGEND: REFLECTED CEILING PLAN	
	WALNUT TONGUE & GROOVE SOFFIT (CLEAR FINISH)
	GYP. BOARD, SMOOTH PAINTED FINISH
	24" x 24" ACOUSTIC CEILING TILE (ACT)
	2" X 2" RECESSED LED LIGHT FIXTURE
	CEILING FAN
	RECESSED CAN LIGHT
	WALL PACK
	EXIT LIGHT
	EMERGENCY/EXIT LIGHT
	EMERGENCY/EXIT LIGHT
	KEYED NOTES SYMBOL
	CEILING HEIGHT

REFLECTED CEILING PLAN: KEYNOTE LEGEND	
1	CUSTOM TEXT NOTE HERE
2	CUSTOM TEXT NOTE HERE
3	CUSTOM TEXT NOTE HERE
4	CUSTOM TEXT NOTE HERE
5	CUSTOM TEXT NOTE HERE
6	CUSTOM TEXT NOTE HERE
7	CUSTOM TEXT NOTE HERE



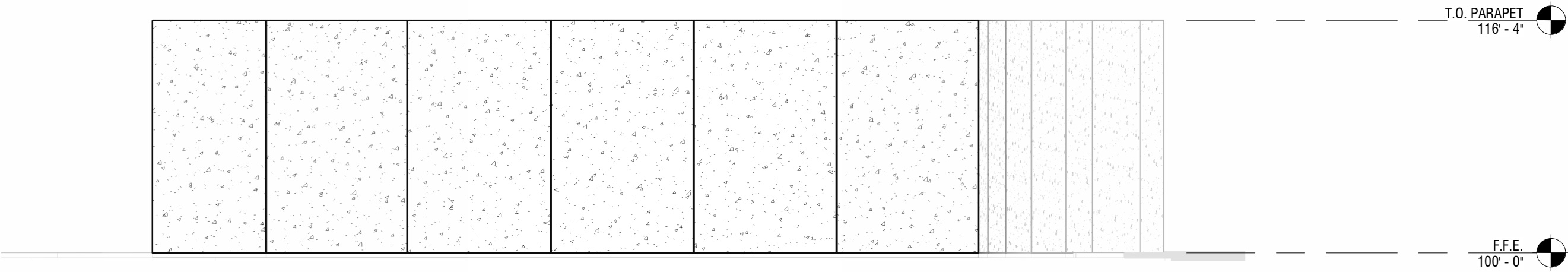
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REFLECTED CEILING
PLAN & ROOF PLAN

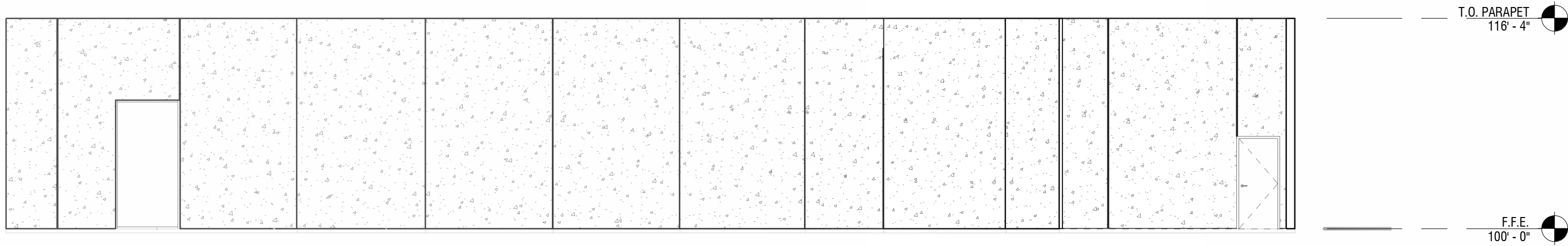
A1.2
SCHEMATIC DESIGN
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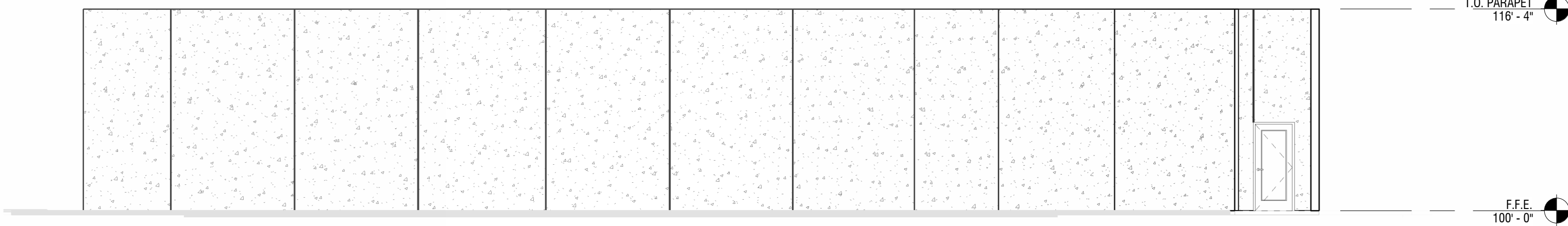
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CONSTRUCTION



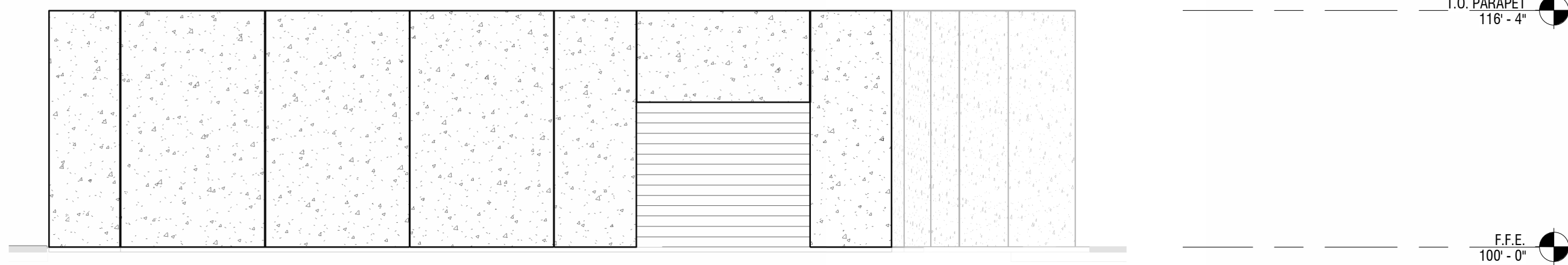
4 NORTHWEST ELEVATION
A2.1 1/8" = 1'-0"



3 SOUTHWEST ELEVATION
A2.1 1/8" = 1'-0"



2 NORTHEAST ELEVATION
A2.1 1/8" = 1'-0"



1 SOUTHEAST ELEVATION
A2.1 1/8" = 1'-0"

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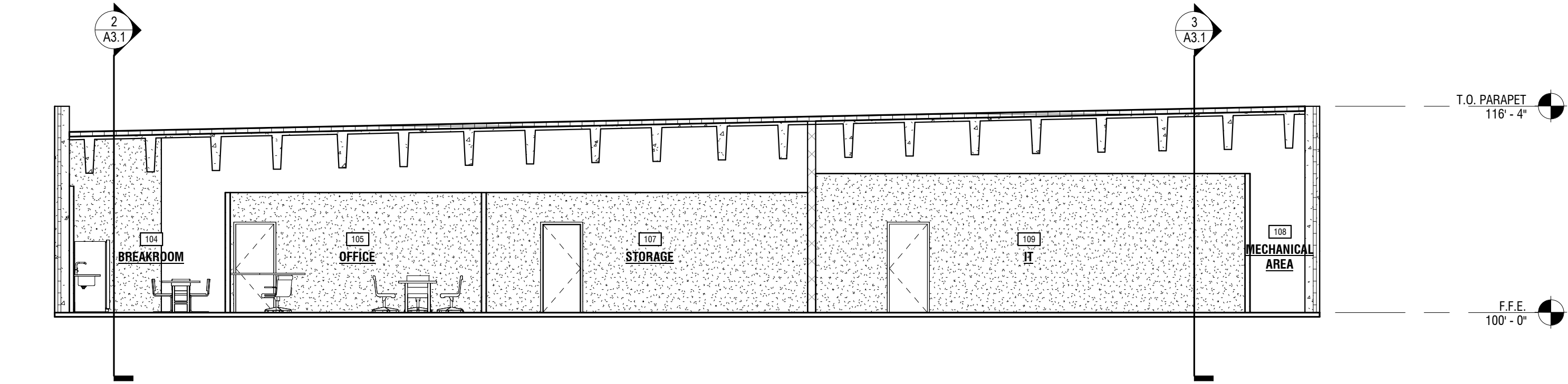
NOT FOR
CONSTRUCTION

EXTERIOR
ELEVATIONS

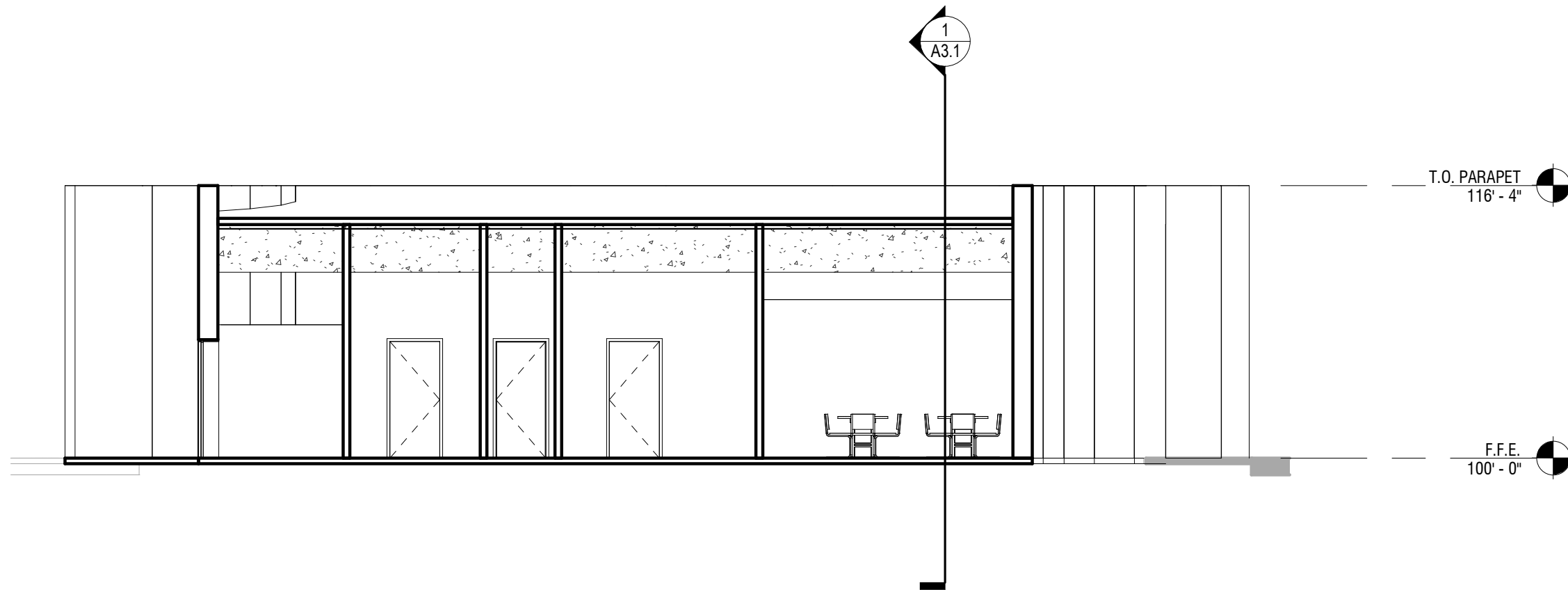
A2.1

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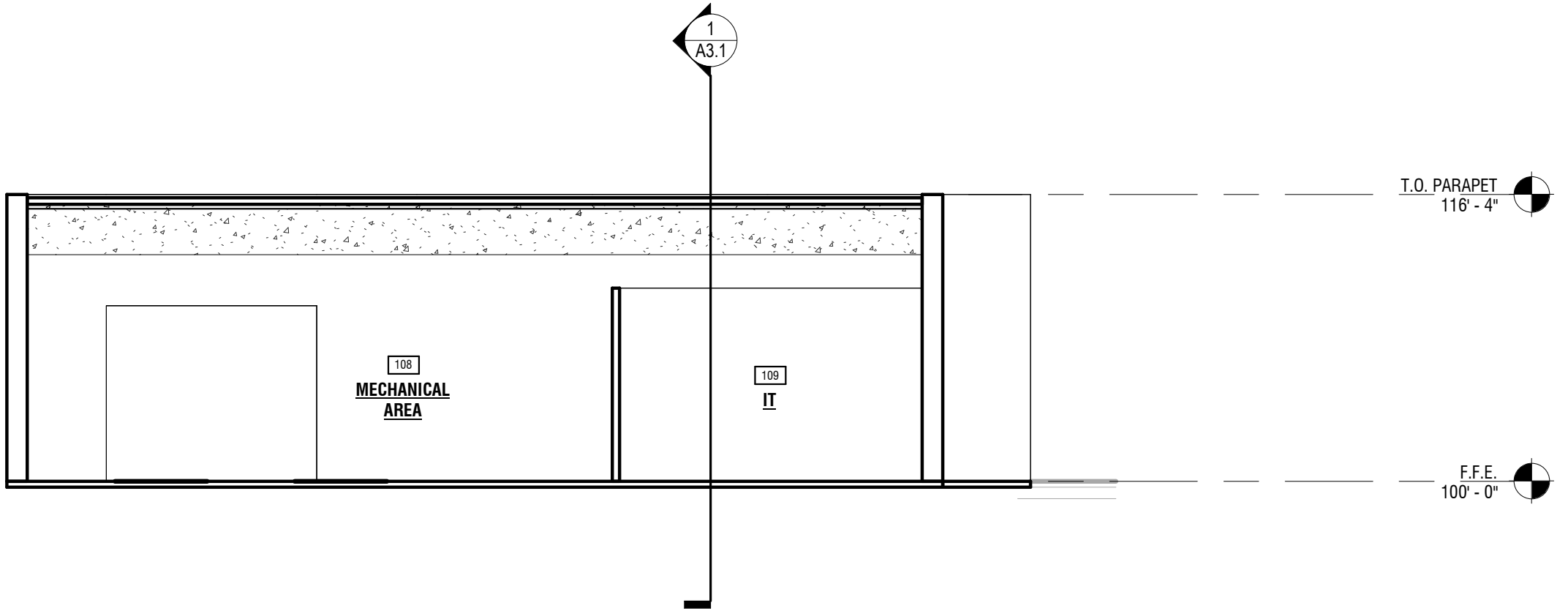
p | o | n | m | l | k | j | h | g | f | e | d | c | b | a |



1
A3.1 BUILDING SECTION
1/8" = 1'-0"



2
A3.1 BUILDING SECTION
1/8" = 1'-0"



3
A3.1 BUILDING SECTION
1/8" = 1'-0"

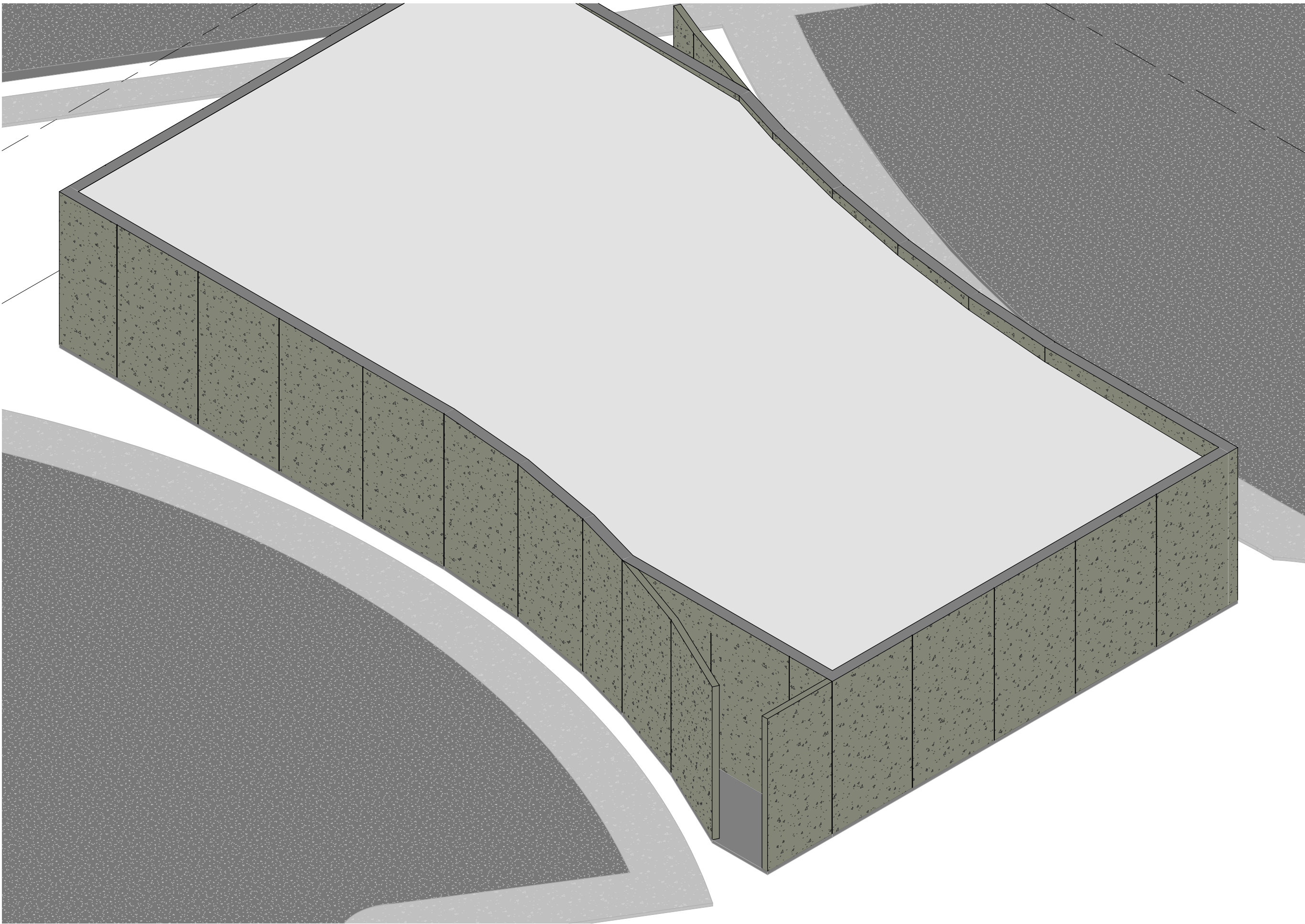
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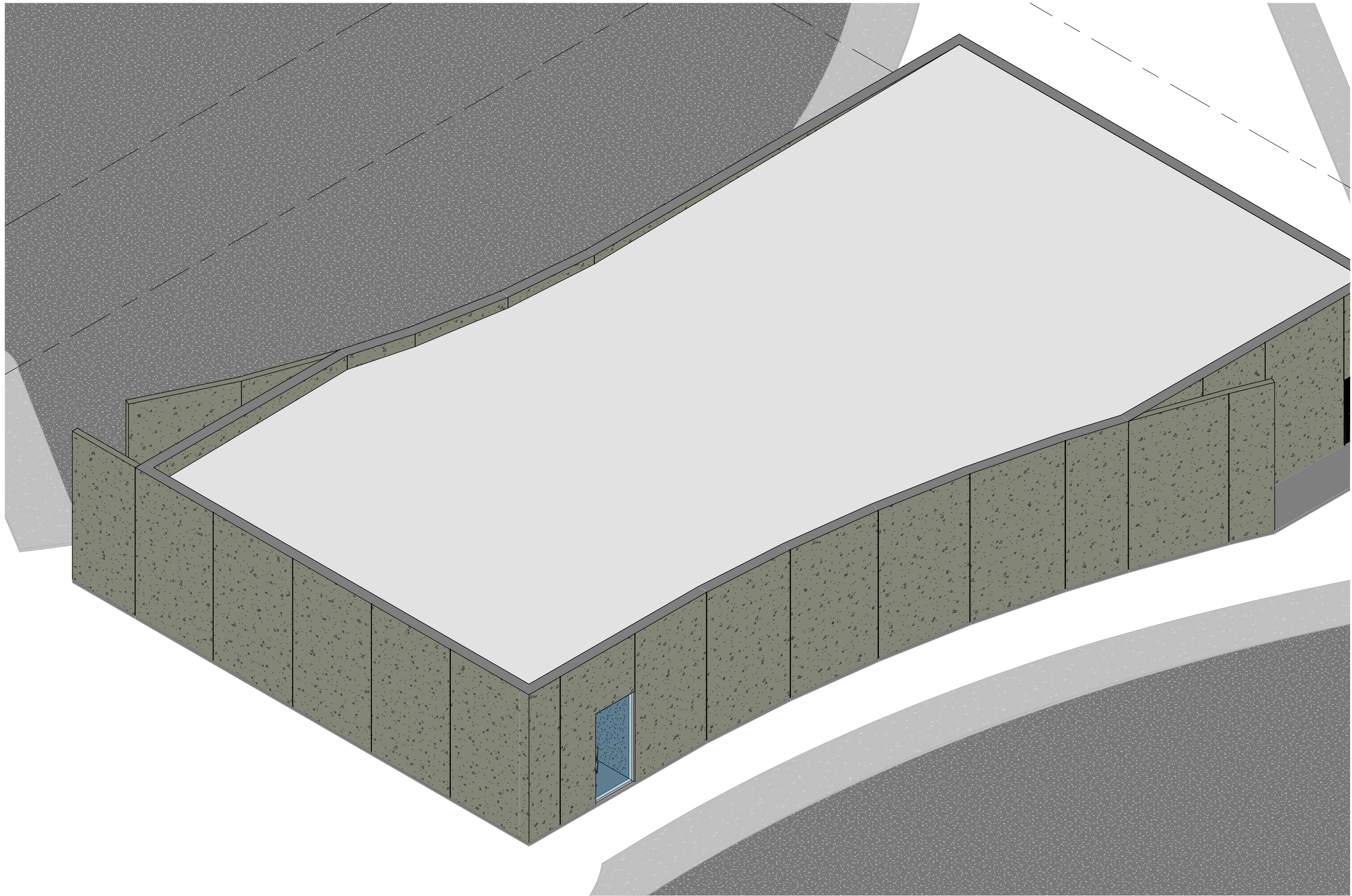
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BUILDING SECTIONS

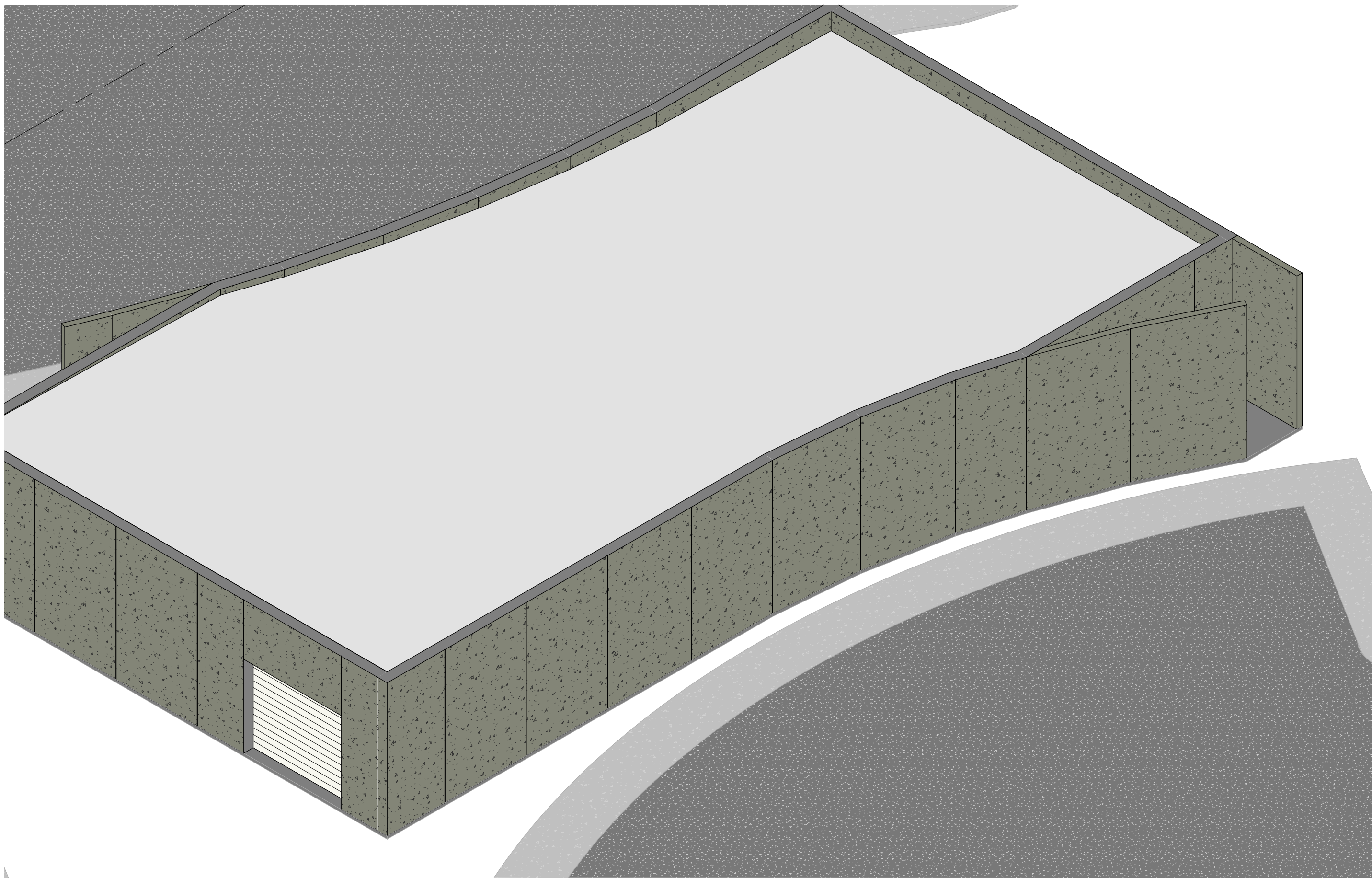
A3.1



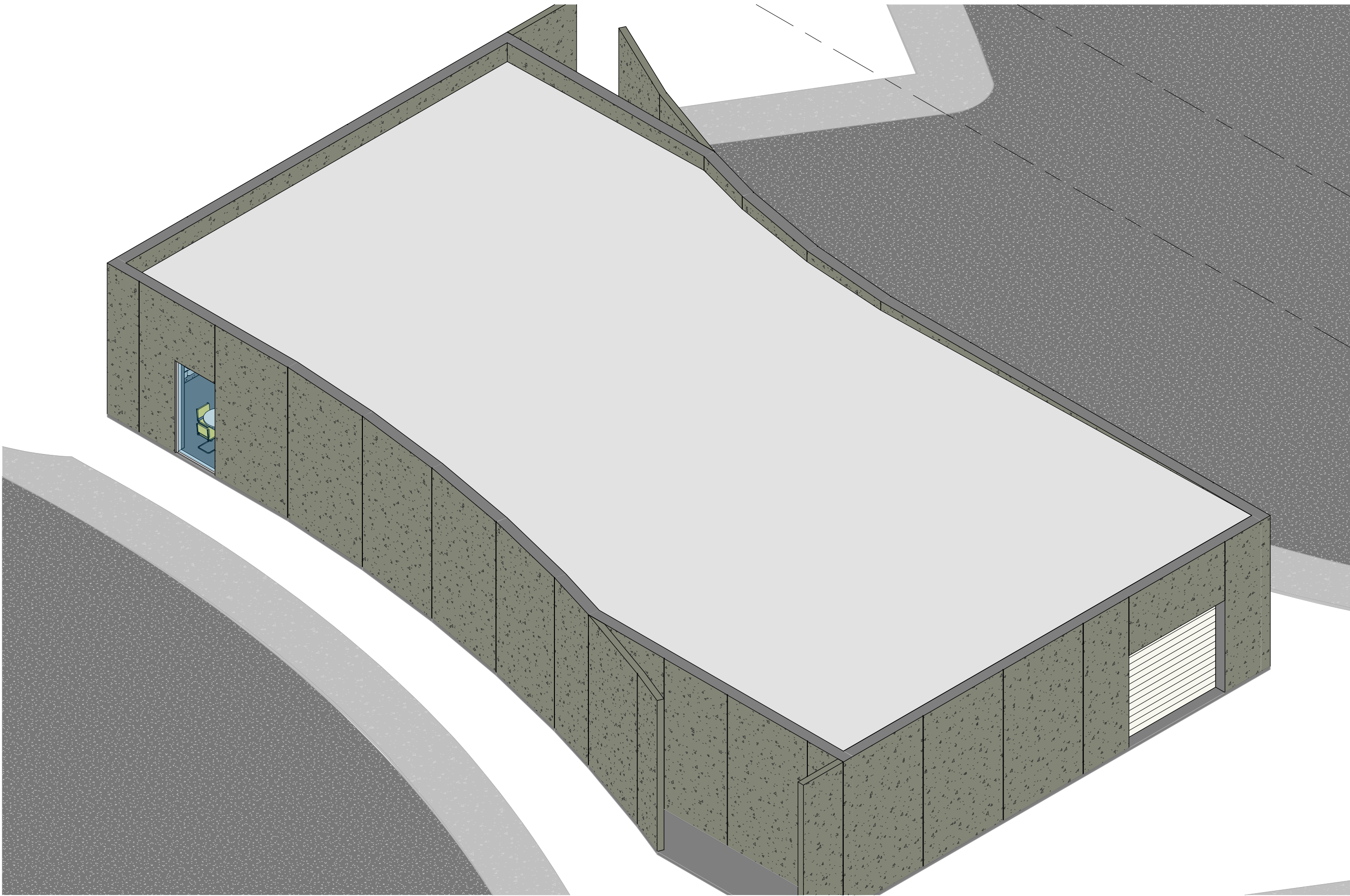
4 DESIGN OPTION A- NW VIEW
A9.2



2 DESIGN OPTION A -SW VIEW
A9.2



3 DESIGN OPTION A - NE VIEW
A9.2



1 DESIGN OPTION A -SE VIEW
A9.2

NOT FOR
CONSTRUCTION

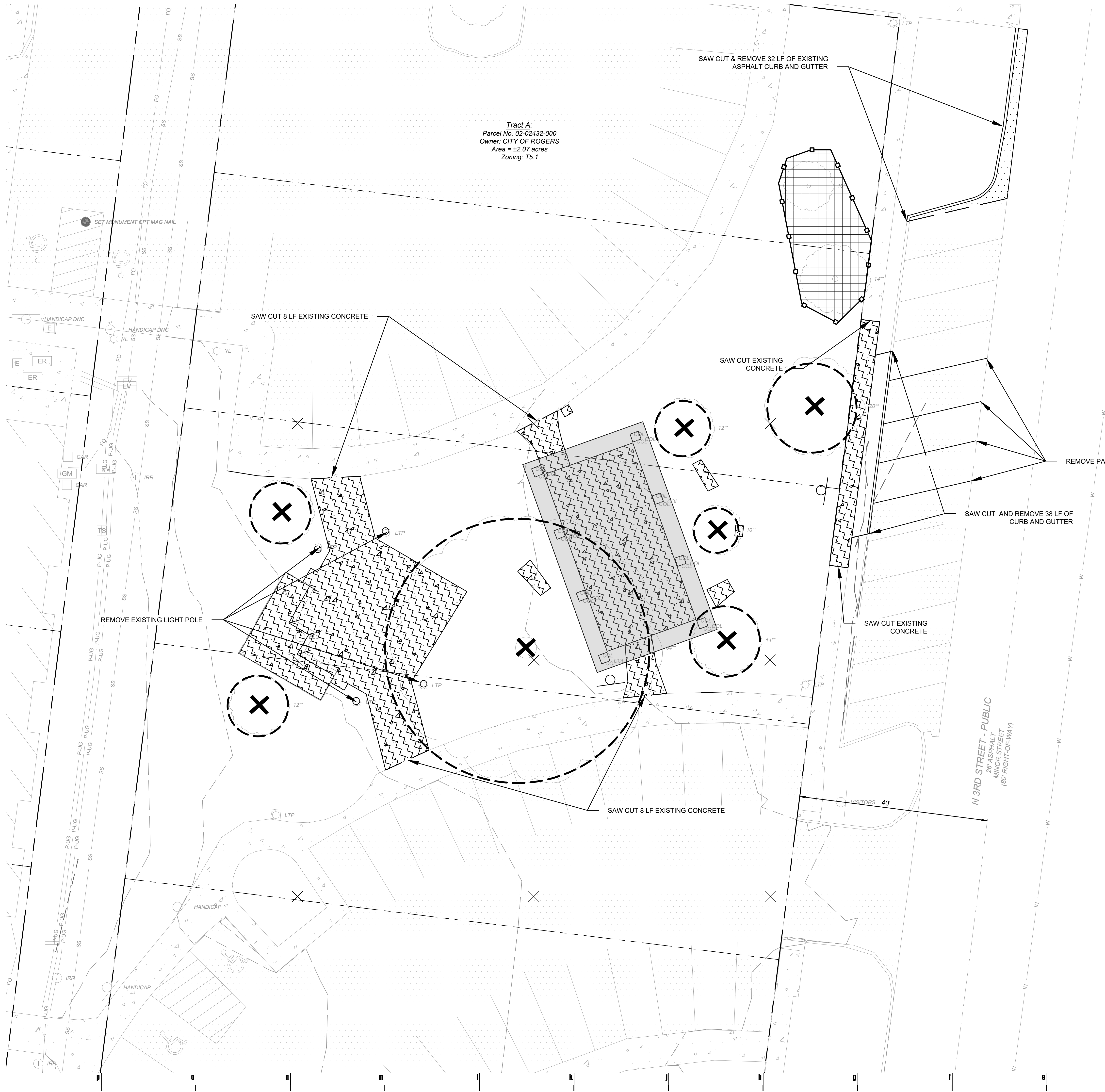
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AXON VIEWS

A9.2

SCHEMATIC DESIGN
4/22/2026 62325



LEGEND	
	PROPERTY LINE
	ROAD CENTERLINE
	EXISTING WATERLINE
	EXISTING FIBER OPTIC LINE
	EXISTING SEWER LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	SAW CUT EXISTING CONCRETE, CURB

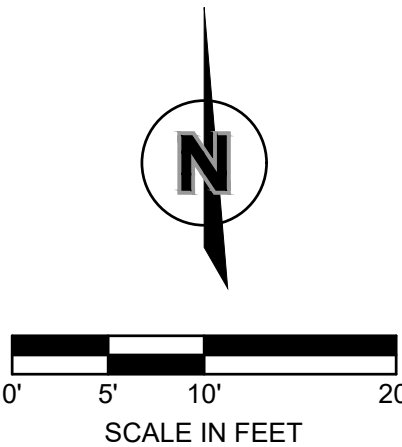
EXISTING BUILDING TO BE REMOVED

EXISTING CONCRETE SIDEWALK TO BE REMOVED

TREES TO BE PRESERVED. INSTALL INITIAL TREE PRESERVATION FENCING. REFER TO DETAIL ON SHEET LX.X.

EXISTING TREE TO BE REMOVED

- DEMOLITION NOTES:**
- ALL REMOVED MATERIAL SHALL BE DISPOSED OF OFF-SITE AT CONTRACTOR'S EXPENSE TO AN APPROVED DUMP SITE UNLESS OTHERWISE NOTED.
 - SAWCUT OF EXISTING PAVEMENT SHALL BE TO NEAREST JOINT LINE.
 - CRUSHED STONE FILL CAN BE STOCKPILED AND REUSED, IF IT HAS PROPER GRADATION CHARACTERISTICS AS DETERMINED BY GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
 - UPON REMOVAL OF SURFACE MATERIALS, THE EXPOSED SUBGRADE SHOULD BE CAREFULLY OBSERVED BY A GEOTECHNICAL ENGINEER.
 - ANY SOFT OR UNSTABLE AREAS WHICH ARE DETECTED AT THE EXPOSED GRADE OR DURING THE EXCAVATION FOR THE FOOTINGS SHOULD BE UNDERCUT AND REPLACED WITH LOAD BEARING FILL. REFER TO GEOTECHNICAL REPORT.
 - CONTRACTOR TO PROVIDE TRAFFIC CONTROL ROUTING AD PLANS FOR THE CONSTRUCTION INCLUDED IN THESE PLANS. CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FOR THE STREET CLOSURES AND COORDINATE THESE CLOSURES WITH THE CITY AS REQUIRED.



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DEMO PLAN

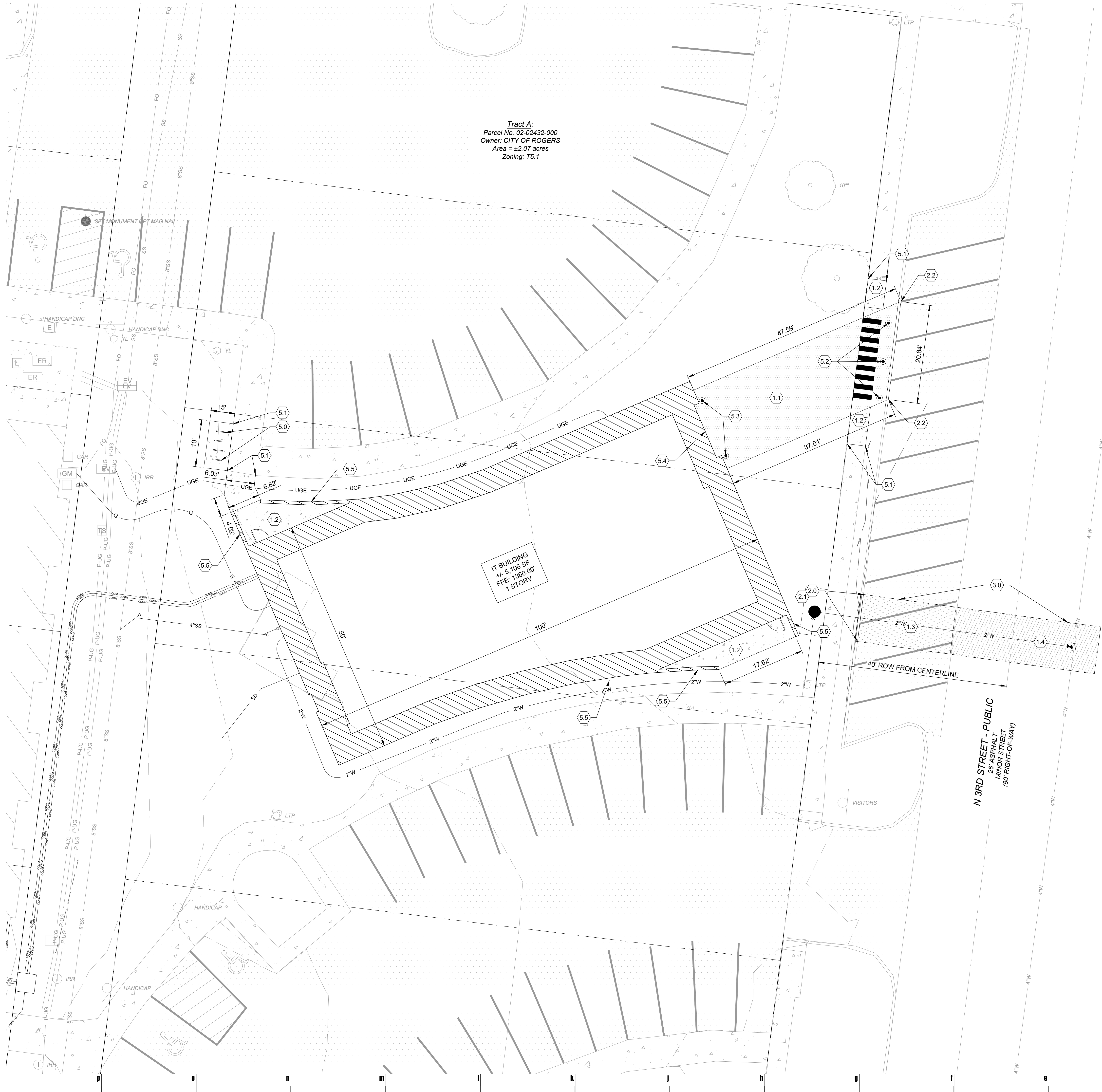
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SCHEMATIC DESIGN
01/16/2026 025-4977

NOT FOR
CONSTRUCTION

DEMX
ARCHITECTURE
104 NEAST AVENUE
FAYETTEVILLE, ARKANSAS 72701 | 479.966.4871





Tract A:
Parcel No. 02-02432-000
Owner: CITY OF ROGERS
Area = ±2.07 acres
Zoning: T5.1

IT BUILDING
±/- 5,106 SF
FFE: 1380.00'
1 STORY

N 3RD STREET - PUBLIC
26' ASPHALT
14' SIDEWALK
180' RIGHT-OF-WAY

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EXIST. EASEMENT

KEYNOTES:

- 1.0 INSTALL STANDARD DUTY ASPHALT PAVEMENT (4" ASPHALT, 6" CLASS 7 BASE COURSE, 1' SELECT FILL)
- 1.1 INSTALL HEAVY DUTY CONCRETE PAVEMENT (6" PORTLAND CEMENT, 6" CLASS 7 BASE COURSE, 1' SELECT FILL)
- 1.2 INSTALL 4" CONCRETE SIDEWALK PER CITY OF ROGERS STANDARDS (SEE DETAIL SHEET C6.0)
- 1.3 INSTALL ASPHALT PAVEMENT PATCH FOR UTILITY INSTALLATION PER ROGERS WATER UTILITY SPECIFICATIONS/DETAILS.
- 1.4 INSTALL CONCRETE PAVEMENT PATCH FOR UTILITY INSTALLATION PER ROGERS WATER UTILITY SPECIFICATIONS/DETAILS.
- 2.0 CONSTRUCT CURB & GUTTER (SEE DETAIL SHEET C6.0)
- 2.1 TAPER CURB TO MATCH EXISTING
- 2.2 CURB TO TRANSITION FROM 6" TO 0" OVER 2 FEET.
- 3.0 CONTRACTOR SHALL SAWCUT & REMOVE ASPHALT OR CONCRETE PAVEMENT AS NECESSARY TO PROVIDE A SMOOTH EDGE BETWEEN NEW & EXISTING PAVEMENT. EXTENTS OF REMOVAL SHALL ACCOMMODATE NEW CONSTRUCTION SHOWN ON THESE PLANS.
- 4.0 INSTALL 4" WHITE SOLID 30 DEGREE PARKING STRIPE PER MUTCD STANDARDS.
- 4.1 INSTALL 12" WHITE THERMOPLASTIC CROSSING STRIPING AT 2' O.C PER MUTCD STANDARDS.
- 4.2 INSTALL 4" WHITE 45 DEGREE THERMOPLASTIC CROSSING STRIPING PER MUTCD STANDARDS.
- 4.3 INSTALL "NO PARKING" THERMOPLASTIC LETTERING PER MUTCD STANDARDS.
- 5.0 INSTALL BIKE RACK (SITE AMENITY) ON DECOMPOSED GRANITE SURFACE (SEE DETAIL SHEET C6.0 FOR INSTALLATION)
- 5.1 CONTRACTOR TO INSTALL SIDEWALK FLUSH WITH EXISTING SIDEWALK EDGE.
- 5.2 INSTALL REMOVABLE CONCRETE-FILLED STEEL BOLLARDS.
- 5.3 INSTALL PERMANENT CONCRETE-FILLED STEEL BOLLARDS.
- 5.4 GARAGE DOOR ENTRANCE (SEE ARCH. PLANS)
- 5.5 INSTALL STEM WALL (SEE ARCH. PLANS)

NOTES:

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDINGS, TYPICAL.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL PROPOSED SIGNAGE TO REQUIRE SEPARATE PERMIT.
- ALL PROPOSED FENCING WILL REQUIRE SEPARATE PERMIT.
- THERE SHALL BE NO CONSTRUCTION BETWEEN 30" AND 60" WITHIN THE SIGHT TRIANGLE.
- THERE SHALL NOT BE ANYTHING BETWEEN 3' AND 8' IN HEIGHT WITHIN THE SIGHT TRIANGLE
- FOR ALL RIGHTS-OF-WAY OPEN TO VEHICULAR TRAFFIC, CONTRACTOR SHALL PROVIDE A PEDESTRIAN AND BICYCLE ACCESSIBLE ROUTE DURING ALL PHASES OF CONSTRUCTION. LIMITED CLOSURES OF 24 HOURS OR LESS MAY BE APPROVED BY THE CITY ENGINEER.



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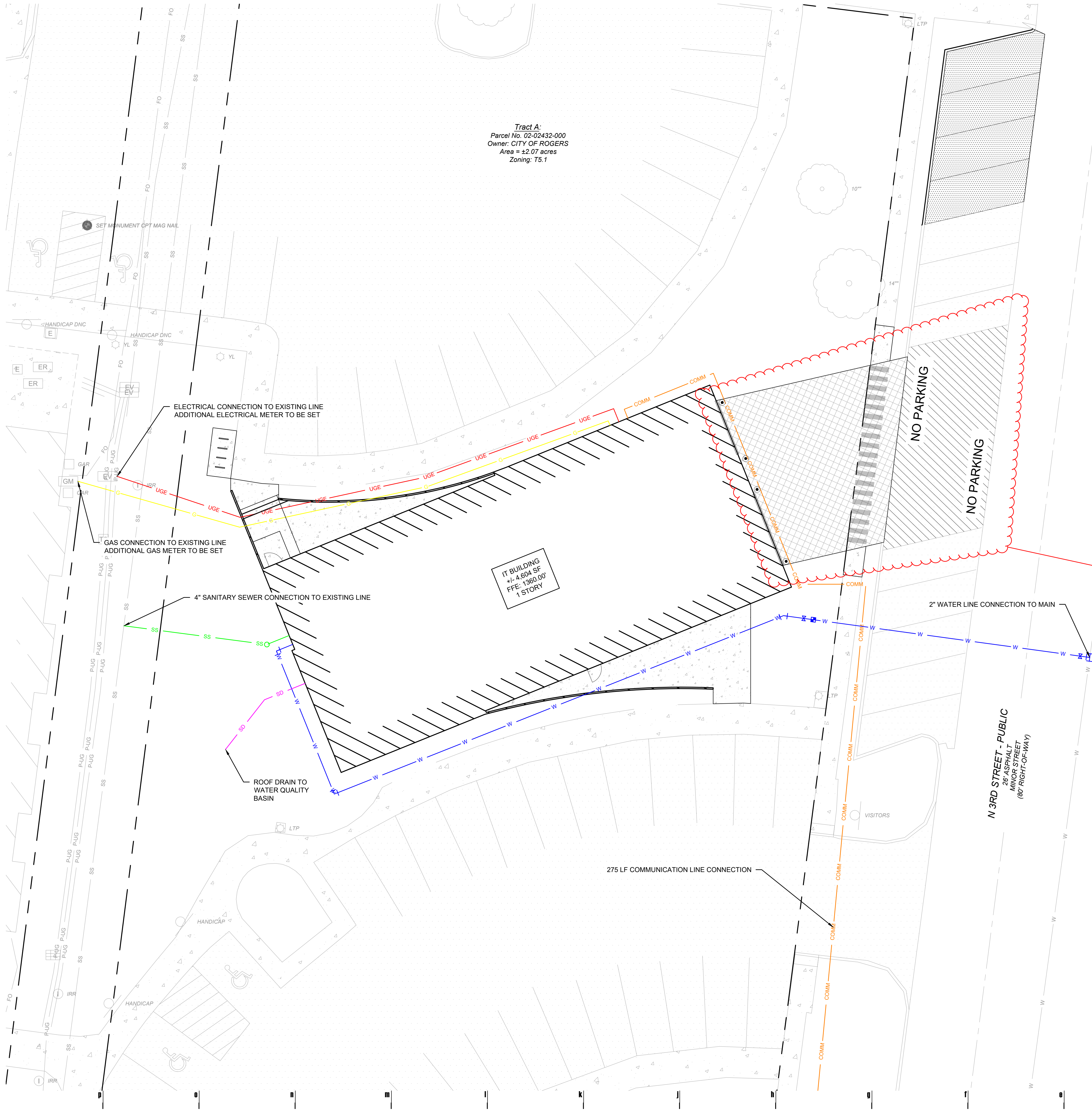
SITE PLAN



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03/20/2026 025-4977

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104 NEAST AVENUE
FAYETTEVILLE ARKANSAS 72701 479.966.4871



Tract A:
Parcel No. 02-02432-000
Owner: CITY OF ROGERS
Area = ±2.07 acres
Zoning: T5.1

LEGEND			
---	---	---	PROPERTY LINE
---	---	---	ROAD CENTERLINE
---	---	---	EXISTING WATERLINE
---	---	---	EXISTING FIBER OPTIC LINE
---	---	---	EXISTING SEWER LINE
---	---	---	EXISTING UNDERGROUND ELECTRIC LINE
---	---	---	PROPOSED UNDERGROUND ELECTRIC LINE
---	---	---	PROPOSED WATER LINE
---	---	---	PROPOSED COMMUNICATIONS LINE
---	---	---	PROPOSED GAS LINE
---	---	---	PROPOSED SEWER LINE

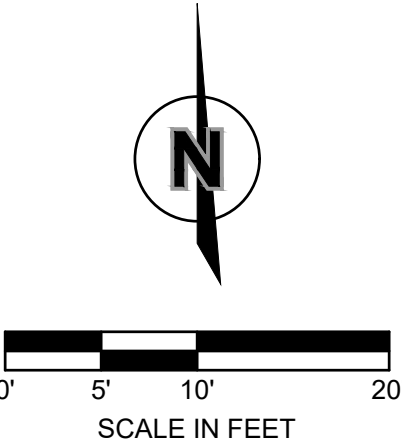
DOMESTIC WATER & FIRE PROTECTION LINE GENERAL NOTES:

- CONTRACTOR TO VERIFY WITH ARCHITECTURAL/MEP PLANS FOR SIZE AND LOCATION OF UTILITY SERVICE TO BUILDING BEFORE CONSTRUCTION.
- WHERE THE WATER SERVICE IS TO BE CONSTRUCTED BELOW OR WITHIN 18 INCHES OF ANY SEWER PIPE, THE CONTRACTOR SHALL LAY A FULL LENGTH OF WATER SERVICE PIPE CENTERED ON THE SEWER OR SUCH LENGTH AS WILL PROVIDE THE MAXIMUM POSSIBLE SEPARATION OF THE JOINTS IN THE WATER SERVICE FROM THE SEWER LINE. IF NOT ALREADY SO, THE CONTRACTOR SHALL CONSTRUCT SANITARY SEWER WITH ONE 20 FOOT NOMINAL LENGTH OF PRESSURE PIPE MATERIAL CENTERED ON THE WATER SERVICE, SUCH THAT THE MAXIMUM POSSIBLE SEPARATION BETWEEN THE WATER SERVICE AND THE SEWER PIPE JOINTS WILL RESULT. THE BACKFILL MATERIAL SHALL BE SELECT, LOW PERMEABILITY SOIL.
- REMOVE SPOIL MATERIAL FROM SITE.
- THE CONTRACTOR SHALL NOT EXCEED MANUFACTURERS RECOMMENDATIONS FOR MAXIMUM PIPE JOINT DEFLECTIONS.
- PRIOR TO MOVING OFF THE JOB THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DO A FINAL WALK-THROUGH OF THE CONSTRUCTION SITE.
- PRIOR TO FINAL ACCEPTANCE ALL WATER SERVICE PIPE SHALL BE PRESSURE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF ROGERS REQUIREMENTS.
- PRIOR TO FINAL ACCEPTANCE ALL WATER SERVICE PIPE SHALL BE DISINFECTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF ROGERS REQUIREMENTS.
- LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) BY WORK TO BE DONE SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER OR CITY INSPECTOR ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
- ALL WATER SERVICE CONSTRUCTION SHALL BE DONE UNDER A PLUMBERS PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- MAINTAIN 42" MINIMUM COVER OVER TOP OF WATER SERVICE PIPE.
- WATER SERVICE PIPE MATERIALS SHALL BE SDR 13.5 PVC FOR IRRIGATION WATER LINE & DOMESTIC SERVICE UNDER 4" AND AWWA C900 PVC FOR FIRE PROTECTION, DOMESTIC & SERVICE MAINS OVER 4".
- INSTALLATION OF FIRE SERVICE SHALL BE IN ACCORDANCE WITH CURRENT NFPA 24 GUIDELINES. CONTRACTOR SHALL BE RESPONSIBLE TO DEFLECT PIPE OR ADD FITTINGS AS NECESSARY TO MAINTAIN A MINIMUM 18" OF CLEARANCE BETWEEN FIREWATER LINES AND ALL OTHER UNDERGROUND UTILITIES.

SANITARY SEWER GENERAL NOTE:

SANITARY SERVICE LATERAL SHALL BE SCH40 PVC.
MINIMUM SLOPE FOR SANITARY SEWER LATERALS:
4" SEWER LATERAL SLOPE = 2.08% MIN.
6" SEWER LATERAL SLOPE = 1.04% MIN.

See Sheet C2.0 for correct layout of this area



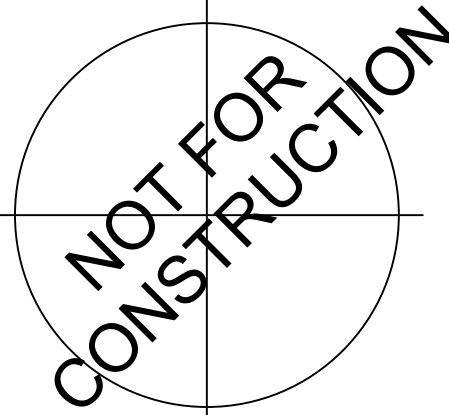
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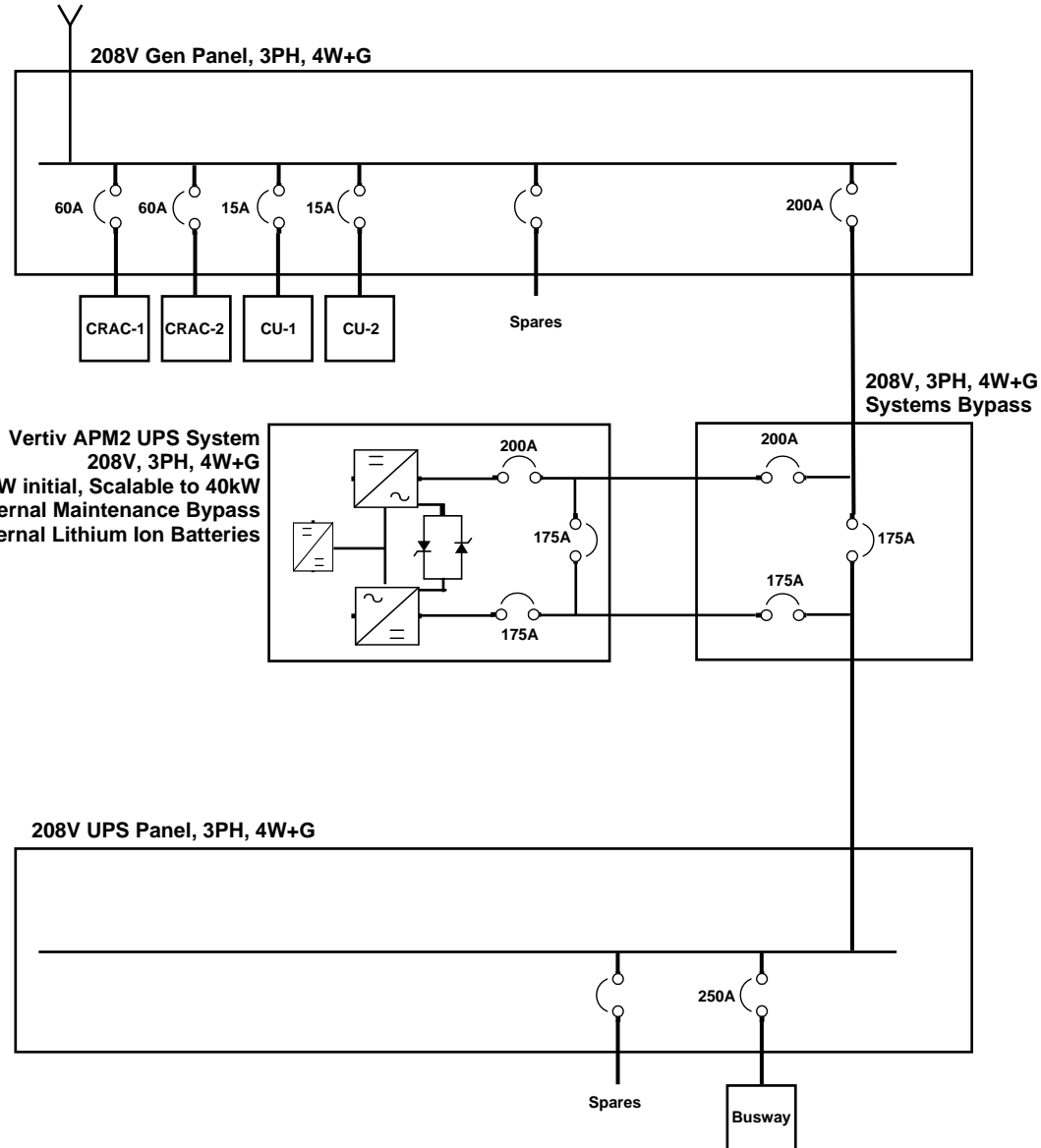
UTILITY PLAN

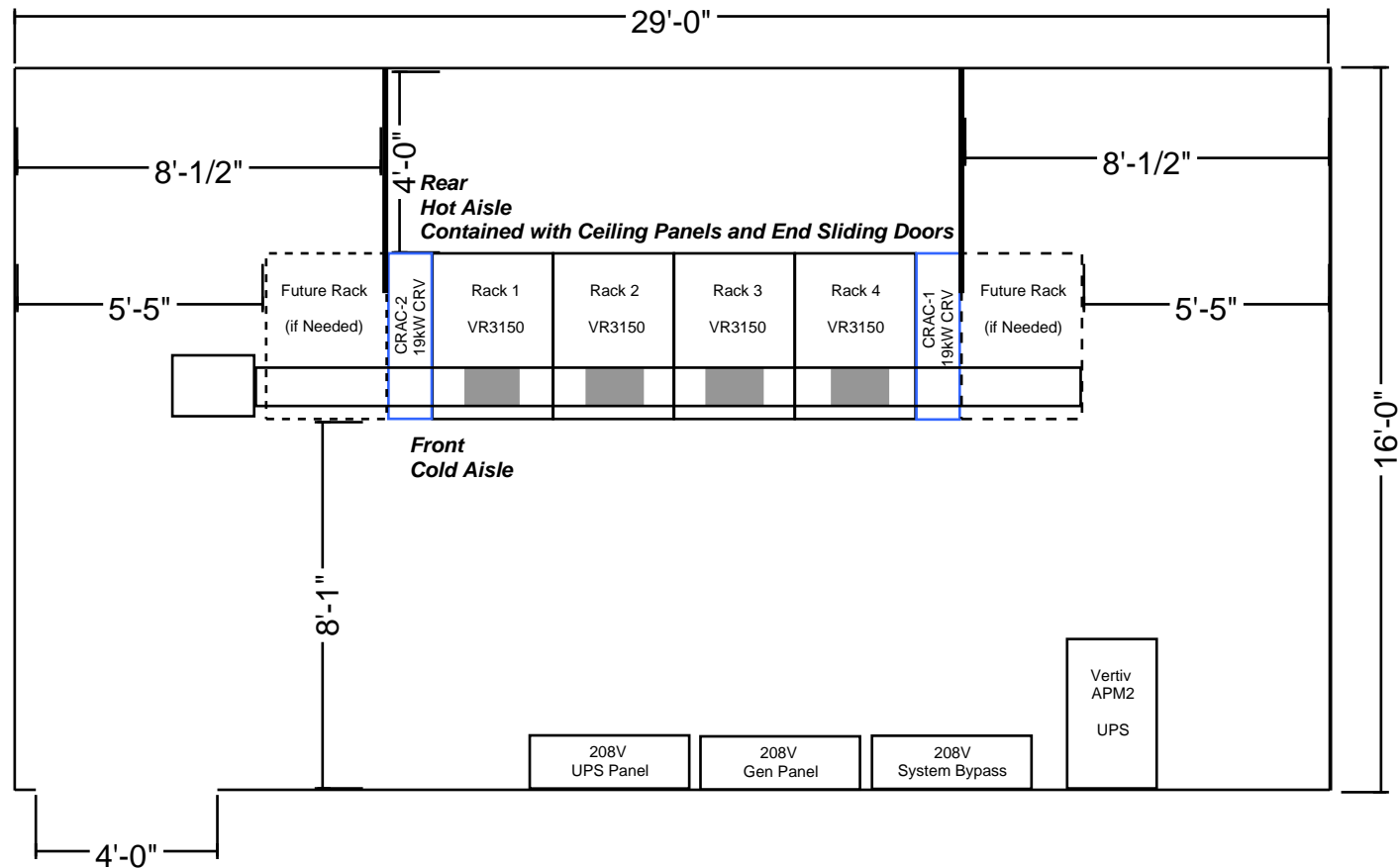


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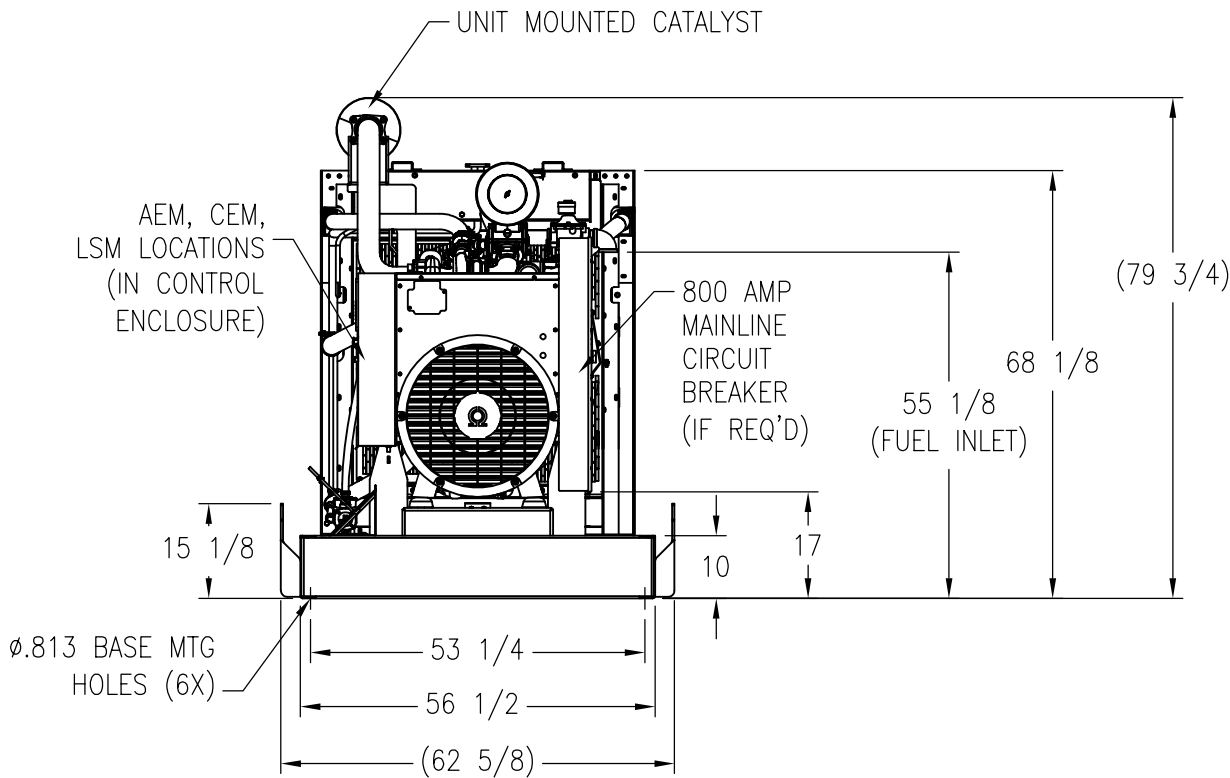
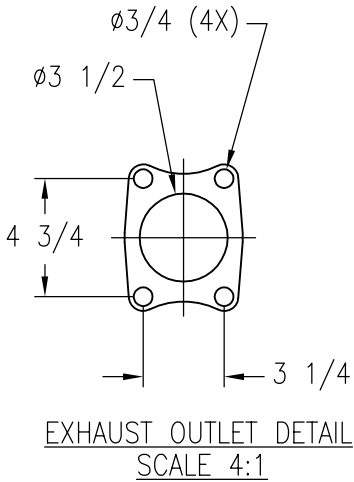
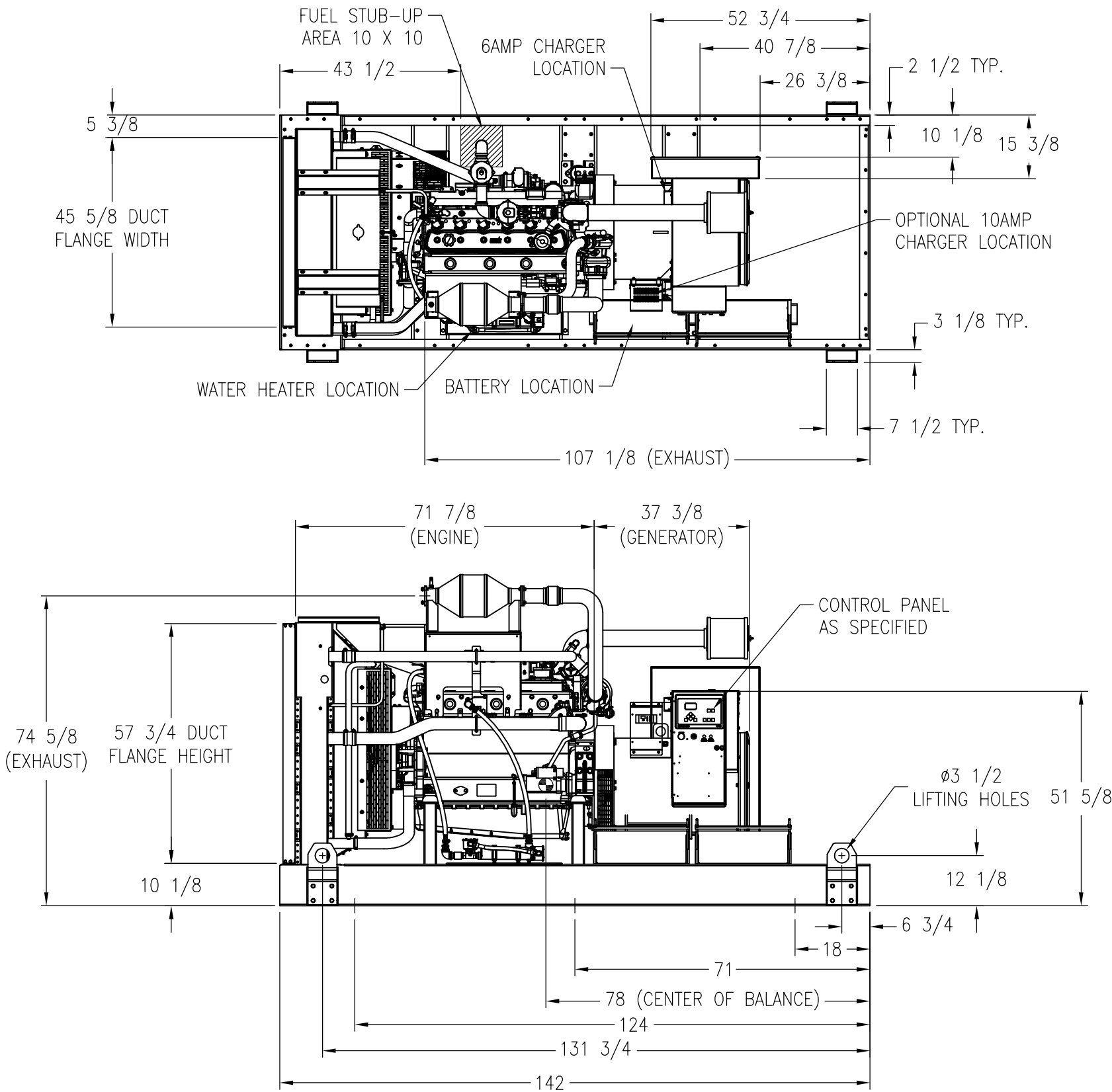


Generated Backed Utility Load





NOTES:
1. APPROX. UNIT WEIGHTS: DRY: 6825# WET:7225#



DRAWING TOLERANCES: $\pm 1/4"$
EXCEPT BASE MTG. HOLES: $\pm 1/8"$

REVISION	DATE	REVISION DESCRIPTION	INITIALS
C	04-16-20	UPDATED TITLE BLOCK	
B	12-12-12	UPDATED EXHAUST CONNECTION	GSH
A	06-04-10	INITIAL RELEASE TO SALES AND ENGINEERING	JDC



A Rolls-Royce
solution

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GEN-SET INFORMATION

ENGINE: DOOSAN 11.1L
GENERATOR: 432 PSL
RADIATOR: W/ENGINE
RADIATOR AMBIENT: 50C
DUCT FLANGE: PH104019
CONTROL PANEL: DGC-2020
BASE: PH103999

ENCLOSURE: NA
BREAKER: 800 AMP
TANK: NA
MUFFLER: NA
TRAILER: NA
ISOLATORS: PADS

DIMENSIONAL LAYOUT

DRAWN TO SCALE
ALL DIMENSIONS ARE IN INCHES
MODEL: GS200N6SPA
DATE: 06-04-10
DRAWN BY: JDC

DWG. #:GS200N6SPA(11.1L)L0-MI